

# NEW DRIVE WAY AND PARKING SPOTS 26 WISCONSIN STREET LAKE WORTH, FL 33461

## GENERAL NOTES:

- ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULING AND SEQUENCING OF THE WORK REGARDING SITE SIGNAGE, BUILDING SIGNAGE AND OTHER PROJECT RELATED REQUIREMENTS.
- THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE, UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- IF ANY ADDITIONAL WORK OR CHANGES WILL ADVERSELY AFFECT THE COMPLETION SCHEDULE, THE CONTRACTOR SHALL ADVISE THE BUILDING MANAGEMENT IN WRITING OF SUCH DELAY.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, FIXTURES, ACCESSORIES, SIGNAGE, AND OTHER DEVICES REQUIRED.
- ALL PENETRATIONS SHALL RECEIVE CAULKING TO SEAL ANY TYPE OF ENERGY LOSS.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- THE FIRE CODES SHALL ADHERE TO NEW CONSTRUCTION FOR THE OCCUPANCY, AS PER NFPA-101:30.1.1.1, 2014 FFPC, AND NFPA-101:30.1.3.1, 2014 FFPC.
- CONTRACTOR TO PROVIDE EXIT TACTILE SIGNAGE ON ALL REQUIRED MEANS OF EGRESS, AS PER NFPA-101:7.10.1.3, 2014 FFPC, AND ANSI A117.1, 2009 EDITION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SITE CUT & FILL TO ATTAIN FINISH GRADES AS INDICATED ON THESE DRAWINGS. GENERAL CONTRACTOR SHALL INCLUDE THE COST OF ANY TOPSOIL REQUIRED IN ADDITION TO THAT EXISTING ON SITE, IN BASE BID.
- GENERAL CONTRACTOR SHALL INCLUDE THE COST OF POWER COMPANY ELECTRICAL TRANSFORMER, PAD, PRIMARY & SECONDARY CONDUITS, AND SECONDARY CABLING IN BASE BID.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE VENDORS ON SITE DURING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SET-UP AND COORDINATION OF ALL THE UTILITY SERVICES FOR THE PROJECT. GENERAL CONTRACTOR SHALL ALSO CONFIRM FINAL SITE ADDRESS.
- GENERAL CONTRACTOR SHALL PERFORM A TOPOGRAPHIC SURVEY PRIOR TO STARTING CONSTRUCTION AND REPORT ANY DISCREPANCIES IN GRADES AS COMPARED TO EXISTING GRADES INDICATED ON CIVIL DRAWINGS. SUBMIT A COPY OF TOPOGRAPHIC SURVEY TO ARCHITECT AND INDICATE ANY DISCREPANCIES ON SURVEY PRIOR TO COMMENCING EARTHWORK.
- ALL EXTERIOR FLOOR PLAN DIMENSIONS ARE TO EXTERIOR FACE OF MASONRY UNLESS OTHERWISE NOTED. ALL INTERIOR FLOOR PLAN DIMENSIONS ARE TO FACE OF STUD OR INSIDE FACE OF MASONRY UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL PROVIDE AN AS-BUILT SET OF DRAWINGS TO THE OWNER AT THE END OF THE PROJECT.
- MAINTENANCE EXCLUSION: THESE DRAWINGS WERE PREPARED FOR PURPOSES OF CONSTRUCTION ONLY. THESE DRAWINGS ARE NOT TO BE USED FOR MAINTENANCE PURPOSES AS ACTUAL CONDITIONS MAY VARY FROM THOSE SHOWN ON THE DRAWINGS DUE TO CHANGE ORDERS, ALTERATIONS BY OTHERS, FIELD CONDITIONS, ETC.
- THIS MATERIAL IS COPYRIGHTED BY NADER GOUBRAN, ARCHITECT ANY REPRODUCTION, COPYING OR ANY OTHER USE OF THIS MATERIAL WITHOUT THE EXPRESSED WRITTEN CONSENT OF NADER GOUBRAN, ARCHITECT, IS PROHIBITED AND CONSTITUTES A VIOLATION OF FEDERAL COPYRIGHT ACT OF 1976 (TITLE 17 U.S. CODE). VIOLATORS WILL BE SUBJECT TO LEGAL ACTION.
- CONTRACTOR SHALL COORDINATE ALL WOOD BLOCKING, STEEL SUPPORTS AND ANY OTHER ITEMS WHICH ARE IMBEDDED IN DRYWALL PARTITIONS OR ENCLOSURES WHICH RELATE TO HIS WORK OR THE WORK OF ANY SEPARATE CONTRACTORS. ALL WOOD BLOCKING, BRIDGING, BRACING, FRAMING, ETC., SHALL BE FIRE RETARDANT AS CALLED FOR BY THE BUILDING CODE AND THE CONTRACTOR MUST SUBMIT AFFIDAVITS OF SUCH FIRE RETARDATION TO THE ARCHITECT.
- PRIOR TO THE SUBMISSION OF ANY BIDS THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND VERIFY THE ARCHITECTS DIMENSIONS, DETAILS, AND INFORMATION PERTAINING TO THE PROJECT. IF ANY DISCREPANCIES, CONFLICTING INFORMATION, ERRORS OR OMISSIONS ARE PRESENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND THE OWNER IMMEDIATELY. ANY DISCREPANCY, OR CONFLICT NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO THE FINAL BID SUBMISSION SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- DRAWINGS CONFORM TO BUILDING STANDARD GUIDELINES AND DECLARATION OF COVENANTS, WITH SOME APPROVED EXCEPTIONS
- THE CONTRACTOR SHALL INCLUDE ALL WORK NECESSARY TO ASSURE THE PROJECTS COMPLIANCE WITH THE MOST STRINGENT REQUIREMENTS OF THE FLORIDA BUILDING CODE, CURRENT LOCAL EDITION, NFPA.101, AND ALL OTHER APPLICABLE CODES AS GENERALLY DEPICTED IN THESE DRAWINGS.
- DIMENSIONS AS INDICATED ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALING OF THE DRAWINGS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE CALCULATED BY COMPUTER AND ROUNDED TO THE NEAREST INCH. THE LOCATION OF PARTITIONS TO THE CENTERS OF MULLIONS OR TO ALIGN WITH FINISHES SHALL TAKE PRECEDENCE OVER WRITTEN DIMENSIONS WHEN SO NOTED

## SCOPE OF WORK

### SCOPE OF WORK

**STRUCTURAL:**  
- CONSTRUCTION OF ONE WAY CIRCULAR ASPHALT DRIVE WAY WITH 13 PARKING SPOTS

### SITE DATA

TOTAL DUPLEXES AREA	2,100 + 1,777 = 3,877 SF
LOT AREA	26,601 SF = 0.61 ACRES
OCCUPANCY	R-3
CONSTRUCTION TYPE	III
BUILDING IS SPRINKLERED	NO
OCCUPANT LOAD (R)	3,877 SF/200 = 19.38 = 20

### LEGAL DESCRIPTION

MC 5 ACRES PB21R1 N 30 FT OF LT 2 & LT 4

### PARKING DATA

NEW PARKING SPACES	13 SPACES
EXISTING PARKING SPACES	1 SPACE (GARAGE)
HANDICAP SPACE REQUIRED	0 SPACE (NOT REQUIRED)
TOTAL PARKING SPACES	14 SPACES
PARKING SLOPE	2%

### EXISTING AREA CALCULATIONS

TOTAL SITE AREA	26,601 SF
EXISTING BUILDING AREA	3,877 SF
NEW DRIVEWAY AND PARKING AREA	6,538 SF
TOTAL IMPERVIOUS AREA	10,415 SF
PERVIOUS AREA	16,186 SF

### APPLICABLE CODES

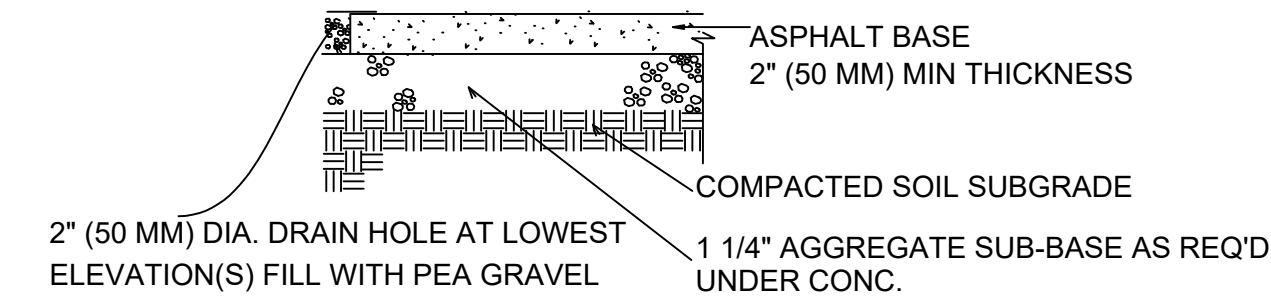
FBC EXISTING BUILDING CODE 2014 EDITION  
FBC BUILDING CODE 2014 EDITION  
FBC PLUMBING CODE 2014 EDITION  
NATIONAL ELECTRICAL CODE 2011 EDITION

### NOTES

-BASE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM A SURVEY PREPARED BY LANDTEC SURVEYING, INC. ON 12/20/16  
-DRAINAGE DESIGN TO BE IN ACCORDANCE WITH S.F.W.M.D., L.W.D.D. AND VILLAGE OF PALM SPRINGS CRITERIA.

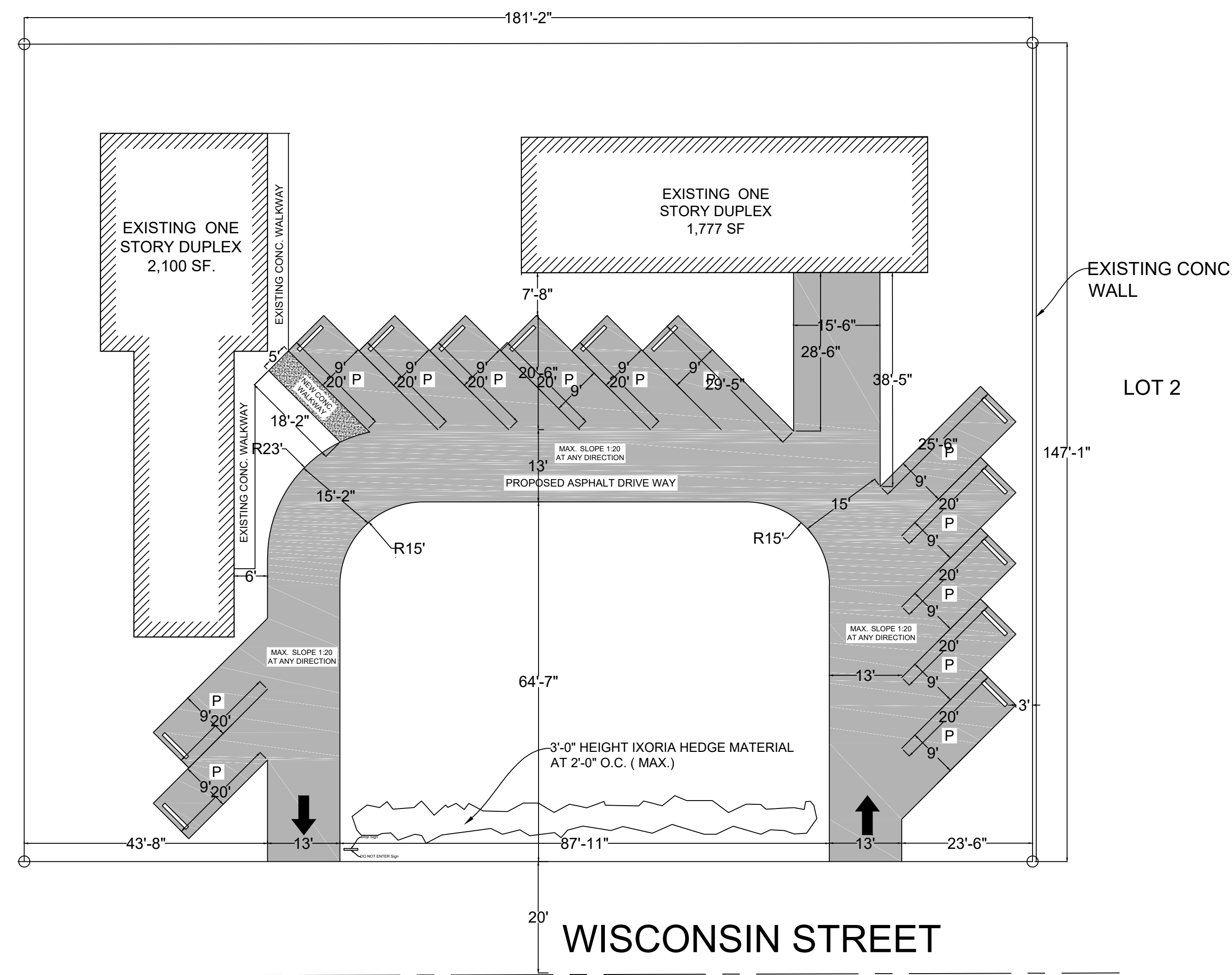
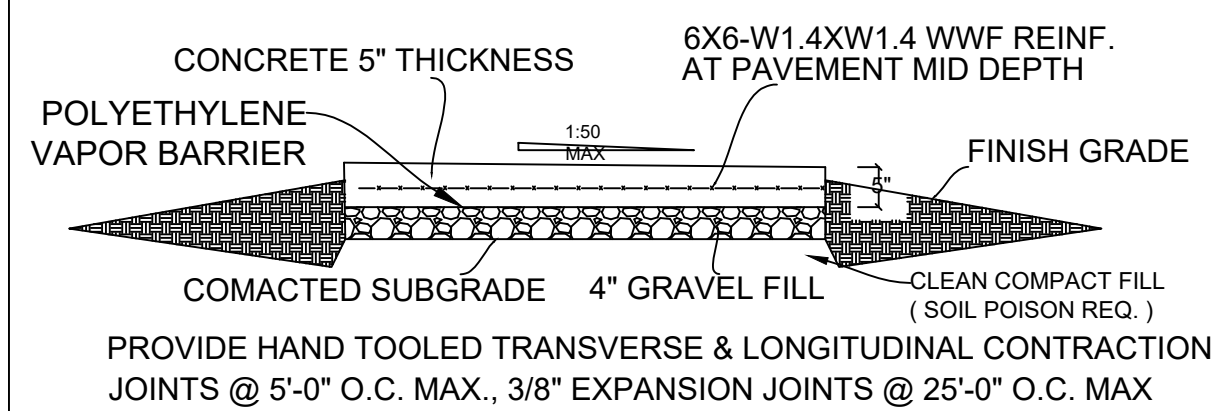
## ASPHALT PAVING DETAILS

N.T.S



## CONC. SIDE WALK DETAILS

N.T.S



PROPOSED SITE PLAN 50' R/W  
SCALE 1/16" = 1'-0"

## REVISIONS

NO.	DATE	DESCRIPTION	BY

AR-0097801

NEW DRIVE WAY AND PARKING SPOTS  
**26 WISCONSIN STREET**  
**LAKE WORTH, FL 33461**

**NADER GOUBRAN, ARCHITECT**

2886 10TH AVE N, PALM SPRINGS, FL 33461  
P : 561-644-3784 F : 561-296-7866 N\_GOUBRAN@MSN.COM  
LICENSE NUMBER AR-0097801



DATE 4/5/2017

SCALE: 1/16" = 1'-0"

SITE PLAN

SHEET  
**A-1**